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THE CORPORATION OF THE
CITY OF WINDSOR

THOMAS W. LYND M.A. A.M.C.T.
CITY CLERK



OFFICE OF THE CLERK

CITY HALL
WINDSOR, ONTARIO
N9A 6S1

PHONE: (519) 255-6212
255-6215

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IN REPLY, PLEASE REFER
TO OUR FILE No. _____

MBA-O/94 sa
MBA-D/94 sa

July 14, 1994

Registered Mail

The Ontario Heritage Foundation
77 Bloor St. West, 2nd Floor
Toronto, Ontario
M7A 2R9

Gentlemen:

Council for the Corporation of the City of Windsor, at its regular meetings held April 11, 1994 and July 04, 1994 passed the following designating By-laws:

(a) April 11, 1994 By-law Number 11786

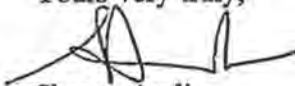
A By-law to designate the lands and premises situate within the City of Windsor, known as 986 Ouellette Avenue, to be of architectural and/or historic value or significance under the provisions of the Ontario Heritage Act, R.S.O. 1990, Chapter 0.18, as amended.

(b) July 04, 1994 By-law Number 11879

A By-law to designate the lands and premises situate within the City of Windsor, known as 650 Devonshire Road, to be of architectural and/or historic value or significance under the provisions of the Ontario Heritage Act, R.S.O. 1990, Chapter 0.18, as amended.

A copy of the By-laws together with the reasons for designation of the properties, are enclosed. Notice of the By-laws will be published in The Windsor Star commencing Saturday July 23, 1994.

Yours very truly,


Sharon Amlin
for City Clerk

SA/hs.5
Enclosure

OFFICE
JUL 27 1994
RECEIVED
MAILING

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1276035

REGISTRATION
CERTIFICATE

94 06 10 11 07

New Property Identifiers

Additional: See Schedule

Executions

Additional: See Schedule

(1) Registry Land Titles (2) Page 1 of 4 pages

(3) Property Identifier(s) Block Property Additional: See Schedule

(4) Nature of Document
By-law Number 11786

(5) Consideration
n/a Dollars \$

(6) Description
Parts of Lots 19, 20 & 21, in Block 3 on the East side of Ouellette Avenue, Plan 256
see Schedule attached
City of Windsor, County of Essex JUL 27 1994
PLANNING

(7) This Document Contains: (a) Redescription New Easement Plan/Sketch (b) Schedule for: Description Additional Parties Other

(8) This Document provides as follows:
By-law Number 11786 attached

Continued on Schedule

(9) This Document relates to instrument number(s)

(10) Party(ies) (Set out Status or Interest)
Name(s) Signature(s) Date of Signature
THE CORPORATION OF THE CITY OF WINDSOR
(Applicant) by its solicitor Victor L. Lipnicki
Victor L. Lipnicki
1994 06 10

(11) Address for Service
City Hall, P.O. Box 1607, Windsor, Ontario, N9A 6S1

(12) Party(ies) (Set out Status or Interest)
Name(s) Signature(s) Date of Signature
Y M D

(13) Address for Service

(14) Municipal Address of Property
986 Ouellette Ave.
Windsor, Ontario

(15) Document Prepared by:
VICTOR L. LIPNICKI
Barrister & Solicitor
The Corporation of the City of Windsor
City Hall, P.O. Box 1607
Windsor, Ontario, N9A 6S1

Fees and Tax	
Registration Fee	
Total	500

B I L L

No. 111

1 9 9 4

B Y - L A W N U M B E R 11786

A BY-LAW TO DESIGNATE THE LANDS AND PREMISES SITUATE WITHIN THE CITY OF WINDSOR, KNOWN AS 986 OUELLETTE AVENUE, TO BE OF ARCHITECTURAL AND/OR HISTORIC VALUE OR SIGNIFICANCE UNDER THE PROVISIONS OF THE ONTARIO HERITAGE ACT, R.S.O. 1990, CHAPTER 0.18, AS AMENDED.

Passed the 11th day of April, 1994.

WHEREAS by virtue of the provisions of the Ontario Heritage Act, R.S.O. 1990, Chapter 0.18, as amended, the Council of a municipality may, by by-law, designate a property within the municipality to be of historic or architectural value or interest;

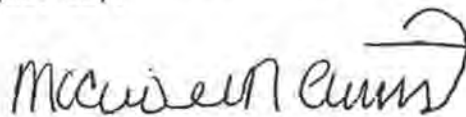
AND WHEREAS upon consideration of the recommendation of the Windsor Architectural Conservation Advisory Committee, The Corporation of the City of Windsor deems it desirable and expedient to designate the property described in Schedule "A" annexed hereto and forming part of this by-law, municipally known as 986 Ouellette Avenue, in the City of Windsor (the "subject property"), to be of historic or architectural value or interest, for the reasons stated in Schedule "B" annexed hereto and forming part of this by-law;

AND WHEREAS notice of intention to so designate the subject property was served on the owner(s) of the subject property and upon the Ontario Heritage Foundation, and such notice was published in a newspaper having general circulation in the municipality once a week for three consecutive weeks;

AND WHEREAS no notice of objection was served on the Clerk of the Corporation.

THEREFORE the Council of The Corporation of the City of Windsor enacts as follows:

1. That the above defined subject property be and the same is hereby designated to be of architectural and/or historic value or interest.
2. That this by-law shall come into force and effect after the final passing thereof on the day upon which it is registered in the Land Registry Office for Essex (No. 12).



MICHAEL HURST, MAYOR



THOMAS LYND, CLERK

First Reading - April 11, 1994
Second Reading - April 11, 1994
Third Reading - April 11, 1994

Additional Property Identifier(s) and/or Other Information

FIRSTLY:

Parts of Lots 19, 20 & 21, in Block 3 on the East side of Ouellette Avenue, Registered Plan 256, City of Windsor, County of Essex and Province of Ontario, being more particularly described as follows:

COMMENCING at a point in the southerly limit of said Lot 21 at a distance of Ninety (90) feet measured westerly therealong from the Southeast angle of said Lot 21;

THENCE northerly and parallel with the easterly limit of said Lots 19, 20 & 21, a distance of One Hundred Twenty-One (121) feet more or less to a point distance Fifteen (15) feet measured southerly along said parallel limit from the northerly limit of said Lot 19;

THENCE easterly and parallel with the said northerly limit of said Lot 19, Forty-Five (45) feet to a point distant Forty-five (45) feet measured westerly along the said parallel limit from the easterly limit of said Lot 19;

THENCE southerly and parallel with the easterly limit of said Lots 19, 20 & 21 a distance of One Hundred and Twenty-one (121) feet more or less to the southerly limit of said Lot 21;

THENCE westerly along the said southerly limit of Lot 21 to the place of beginning.

SECONDLY:

Parts of Lots 19, 20 & 21, in Block 3 on the East Side of Ouellette Avenue, Registered Plan 256, City of Windsor, County of Essex and Province of Ontario, being more particularly described as follows:

COMMENCING at a point in the southerly limit of said Lot 21 at a distance of Ninety (90) feet measured westerly therealong from the Southeast angle of said Lot 21;

THENCE westerly along the southerly limit of said lot 21 a distance of One Hundred and Thirty-Five (135) feet more or less to the Southwest angle of said Lot 21;

THENCE northerly along the westerly limits of Lot 21, 20 & 19 a distance of One Hundred and Thirty-Six (136) feet more or less to the Northwest angle of Lot 19;

THENCE easterly along the northerly limit of Lot 19 a distance of Two Hundred Twenty-Five (225) feet more or less to the Northeast angle of Lot 19;

THENCE southerly along the easterly limit of Lot 19 a distance of Fifteen (15) feet to a point;

THENCE westerly and parallel with the northerly limit of said Lot 19 a distance of Ninety (90) feet to a point distant Fifteen (15) feet measured southerly along the said parallel limit from the northerly limit of said Lot 19;

THENCE southerly and parallel with the easterly limit of said Lots 19, 20 & 21 a distance of One Hundred Twenty-One (121) feet more or less to the place of beginning.

Additional Property Identifier(s) and/or Other Information

Reasons for Designation

- Architectural** - entire Ouellette Avenue and Erie Street elevations;
- ornamental brick and stone work.

- Historical** - association with respected local architect, James Carlisle Pennington;
- Ouellette Avenue landmark.